

# Schedule of Values

revised 2/16/2021

SFB AW 200-18		SCHEDULE OF VALUES FOR ADJACENT WAYS VALIDATION		
<p>Instructions: 1. Please enter the information requested in Rows 5-9 in the Blue cells below.                  2. Based on the source of funding (On-Site Adjacent Ways, Off-Site Adjacent Ways or District Cost) enter the cost of each item in the schedule below. Allowable On-Site Adjacent Ways, Off-Site Adjacent Ways and District Cost items are in Orange. Excluded On-Site Adjacent Ways items are Gray and are intentionally locked.</p>				
School District		Riverside Elementary School District		
County		Maricopa County		
SFB Adjacent Ways ID Number		(enter 4 digit ID number)		
Architect Name		Orcutt Winslow		
Contractor Name		Chasse Building Team		
		District Cost	On-Site Adjacent Ways	Off-Site Adjacent Ways
<b>Div 1 GENERAL REQUIREMENTS</b>				
01 45 23	testing and inspecting	\$70,000.00		
01 50 00	temporary facilities	\$40,250.00		
01 56 19	dust control	\$25,000.00	\$2,500.00	
01 57 13	track off pads	\$10,000.00		
Division 1 total		\$145,250.00	\$2,500.00	\$0.00
<b>Div 2 EXISTING CONDITIONS</b>				
02 21 13	survey	\$115,340.00	\$14,800.00	
02 41 13	site demolition/removal	\$65,933.00	\$25,500.00	
02 60 00	soil treatment	\$110,425.00	\$16,061.00	
Division 2 total		\$291,698.00	\$56,361.00	\$0.00
<b>Div 3 CONCRETE</b>				
03 00 00	footings/walls			
03 00 00	building	\$1,886,623.00		
03 20 00	rebar			
03 30 53	slabs			
03 35 00	sealed floors			
03 40 00	precast concrete			
Division 3 total		\$1,886,623.00	\$0.00	\$0.00
<b>Div 4 MASONRY</b>				
04 00 00	masonry walls	\$2,188,420.00		
04 00 00	masonry columns			
04 05 19	rebar			
04 22 00	site masonry			
04 22 00	block fencing			
04 43 00	stonework			
Division 4 total		\$2,188,420.00	\$0.00	\$0.00

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<b>Div 5</b>	<b>METALS</b>			
05 00 00	miscellaneous steel			
05 10 00	structural steel	\$2,617,350.00		
05 30 00	metal decking			
05 51 00	stairs			
05 70 00	architectural steel			
	<b>Division 5 total</b>	\$2,617,350.00	\$0.00	\$0.00
<b>Div 6</b>	<b>WOODS/PLASTICS/COMPOSITES</b>			
06 10 00	rough carpentry structure	\$117,772.00		
06 15 00	wood decking			
06 20 00	finish carpentry			
06 40 00	millwork/casework	\$283,668.00		
06 60 00	plastic/glass fiber			
	<b>Division 6 total</b>	\$401,440.00	\$0.00	\$0.00
<b>Div 7</b>	<b>THERMAL/MOISTURE</b>			
07 10 00	waterproofing/dampproofing			
07 20 00	building insulation	\$93,089.00		
07 21 00	foam roof			
07 25 00	weather barrier			
07 31 00	roof shingles			
07 32 00	roof tiles			
07 50 00	membrane roofing	\$1,160,995.00		
07 60 00	metal roof			
07 60 00	general sheet metal	\$1,418,080.00		
07 72 00	roof accessories			
07 81 00	sprayed fireproofing			
07 84 00	firestopping			
07 95 00	roof expansion joint			
07 92 00	joint sealants	\$114,803.00		
	<b>Division 7 total</b>	\$2,786,967.00	\$0.00	\$0.00
<b>Div 8</b>	<b>OPENINGS</b>			
81 10 00	doors & frames	\$294,010.00		
08 33 00	overhead doors	\$90,492.00		
08 40 00	storefronts	\$1,493,666.00		
08 44 00	curtain walls			
08 50 00	windows			
08 60 00	skylights	\$21,883.00		
08 70 00	hardware			
08 71 13	automatic doors			
08 79 00	knox box			
08 80 00	glass & glazing			
	<b>Division 8 total</b>	\$1,900,051.00	\$0.00	\$0.00

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<b>Div 9</b>	<b>FINISHES</b>			
09 24 00	stucco/EIFS systems	\$267,426.00		
09 20 00	interior metal studs/gypsum board	\$1,526,877.00		
09 22 00	exterior metal stud framing			
09 23 00	decorative plaster			
09 51 00	acoustical ceilings			
09 31 00	ceramic tile	\$236,840.00		
09 65 00	resilient flooring	\$720,018.00		
09 68 00	carpet			
09 64 00	wood floors			
09 67 00	epoxy			
09 80 00	sound panels	\$706,533.00		
09 90 00	painting	\$427,223.00		
09 77 00	fiberglass reinforced panels			
	<b>Division 9 total</b>	<b>\$3,884,917.00</b>	<b>\$0.00</b>	<b>\$0.00</b>
<b>Div 10</b>	<b>SPECIALTIES</b>			
10 11 00	visual display boards	\$338,890.00		
10 14 00	signage	\$56,196.00		
10 21 13	toilet partitions & accessories			
10 21 23	cubicle track & curtain			
10 22 26	operable partitions/walls			
10 26 00	wall protection			
10 44 00	fire extinguishers & cabinets			
10 50 00	lockers			
10 56 13	storage shelving			
10 73 00	shelters			
10 73 13	awnings			
10 73 13	canopy/ramada			
10 75 00	flagpoles			
	<b>Division 10 total</b>	<b>\$395,086.00</b>	<b>\$0.00</b>	<b>\$0.00</b>
<b>Div 11</b>	<b>EQUIPMENT</b>			
11 16 16	floor safe			
11 41 00	kitchen equipment	\$589,469.00		
11 51 00	library equipment			
11 52 00	audio/visual equipment			
11 52 13	projection screens			
11 53 13	fume hoods			
11 61 43	stage curtain/equipment			
11 66 00	sports/PE equipment	\$778,382.00		
11 68 00	playground equipment			
11 68 23	site basketball courts			
11 68 33	ballfield backstop			
11 68 33	sports fields			

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		District Cost	On-Site Adjacent Ways	Off-Site Adjacent Ways
	Division 11 total	\$1,367,851.00	\$0.00	\$0.00

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		District Cost	On-Site Adjacent Ways	Off-Site Adjacent Ways
<b>Div 12</b>	<b>FURNISHINGS</b>			
12 20 00	window coverings	\$88,232.00		
12 31 00	metal casework			
12 32 16	plastic laminate casework			
12 61 00	auditorium seating			
12 93 13	bike racks	\$14,350.00		
12 93 23	trash enclosures			
	<b>Division 12 total</b>	\$102,582.00	\$0.00	\$0.00
<b>Div 13</b>	<b>SPECIAL CONST</b>			
13 00 00	equipment/storage enclosures			
13 11 00	swimming pools			
13 34 16	bleachers			
13 34 19	metal buildings			
	<b>Division 13 total</b>	\$0.00	\$0.00	\$0.00
<b>Div 14</b>	<b>CONVEYING</b>			
14 00 00	material handling			
14 20 00	elevators	\$115,563.00		
14 42 00	wheelchair lifts			
	<b>Division 14 total</b>	\$115,563.00	\$0.00	\$0.00
<b>Div 21</b>	<b>FIRE SUPPRESSION</b>			
21 10 00	fire protection/sprinklers	\$291,453.00		
	<b>Division 21 total</b>	\$291,453.00	\$0.00	\$0.00
<b>Div 22</b>	<b>PLUMBING</b>			
22 11 00	supply piping	\$2,141,400.00		
22 13 00	waste water piping			
22 31 00	water treatment (softner)			
22 32 00	water treatment (filtered)			
22 35 00	water heaters			
22 42 00	plumbing fixtures			
	<b>Division 22 total</b>	\$2,141,400.00	\$0.00	\$0.00
<b>Div 23</b>	<b>MECHANICAL</b>			
23 07 13	mechanical insulation			
23 50 00	HVAC - central plant (cooling)			
23 60 00	HVAC - central plant (heating)			
23 76 00	HVAC - evaporative			
23 80 00	HVAC - package units	\$3,228,588.00		
23 81 26	HVAC - split system			
	<b>Division 23 total</b>	\$3,228,588.00	\$0.00	\$0.00
<b>Div 25</b>	<b>INTEGRATED AUTOMATION</b>			
25 50 00	EMS			
	<b>Division 25 total</b>	\$0.00	\$0.00	\$0.00

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<b>Div 26</b>	<b>ELECTRICAL</b>			
26 10 00	site electrical			
26 10 00	electrical	\$2,383,935.00		
26 30 00	generators			
26 56 00	exterior lighting			
	<b>Division 26 total</b>	\$2,383,935.00	\$0.00	\$0.00
<b>Div 27</b>	<b>COMMUNICATIONS</b>			
27 20 00	data cabling	\$281,951.00		
27 24 00	TV cabling			
27 30 00	intercom			
27 32 13	communications/phone			
	<b>Division 27 total</b>	\$281,951.00	\$0.00	\$0.00
<b>Div 28</b>	<b>SAFETY AND SECURITY</b>			
28 10 00	security system			
28 20 00	surveillance/alarm			
28 31 00	fire alarm system	\$329,115.00		
	<b>Division 28 total</b>	\$329,115.00	\$0.00	\$0.00
<b>Div 31</b>	<b>EARTHWORK</b>			
31 23 00	earthwork/mass excavation	\$1,249,453.00	\$195,181.00	
31 23 00	import/export dirt			
31 31 00	soil treatment - termite	\$6,025.00		
	<b>Division 31 total</b>	\$1,255,478.00	\$195,181.00	\$0.00
<b>Div 32</b>	<b>EXTERIOR IMPROVEMENTS</b>			
32 00 00	parking			
32 00 00	unusal site conditions			
32 10 00	asphalt/paving		\$55,026.00	
32 13 00	fire lane site concrete		\$55,274.00	
32 13 00	sidewalks (only for bus drop-offs)		\$53,228.00	
32 17 00	striping/signage		\$5,500.00	
32 31 13	chainlink fencing			
32 31 19	wrought iron fencing	\$148,191.00		
32 32 00	retaining walls			
32 80 00	irrigation			
32 90 00	landscaping	\$296,709.00		
	<b>Division 32 total</b>	\$444,900.00	\$169,028.00	\$0.00

## revised 2/16/2021

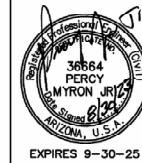
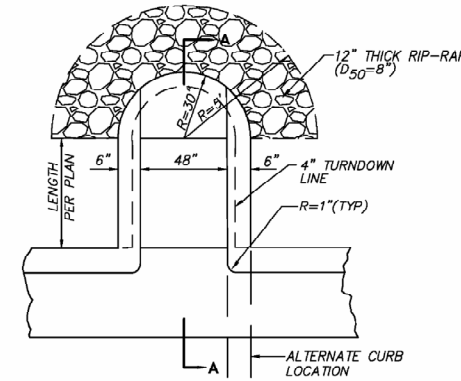
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**NOTE:**  
ALL NEW UNDERGROUND UTILITIES (WATER, SEWER, FIRE AND STORM DRAIN LINES) SHALL BE BEDDED WITH A.B.C., PER MAG SECTION 702, FROM 4" (MIN.) BELOW THE BOTTOM OF THE PIPE TO 12" (MIN.) ABOVE THE TOP OF THE PIPE.

**UNDERGROUND UTILITY TRACER WIRE NOTE:**  
ALL NEW UNDERGROUND FACILITIES/UTILITIES SHALL BE INSTALLED WITH A DETECTABLE UNDERGROUND LOCATION DEVICE. INSTALL A #18 INSULATED TRACER WIRE SECURELY ATTACHED TO EACH UTILITY AT 8-FEET ON CENTER. 12" OF TRACER WIRE SHALL BE ACCESSIBLE ABOVE GRADE AT THE TERMINATION AND SHALL BE SECURELY ATTACHED AT THAT POINT. THE CONTRACTOR SHALL VERIFY WHICH COLOR TO USE FOR STORM DRAIN, WATER, SEWER, ETC., WITH THE CITY OF PHOENIX. THE CONTRACTOR SHALL INCLUDE ALL COSTS ASSOCIATED WITH THIS REQUIREMENT IN THEIR BID.

# ADJACENT WAYS



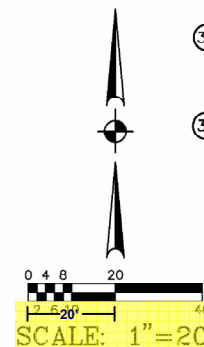
**HESS - ROUNTREE, INC.**  
CONSULTING ENGINEERS & LAND SURVEYORS  
9831 SOUTH 51ST STREET, SUITE C110  
PHOENIX, ARIZONA 85044 (480)496-0244

DES. **DRO** DRN. **JCW** CKD. **DRO** JOB NO. **2303-03**

## GRADING AND DRAINAGE CONSTRUCTION NOTES:

1. INSTALL CONCRETE SIDEWALK (CITY OF PHOENIX STANDARD DETAIL NO. P1230). SEE ARCHITECTURAL PLANS FOR SCARING AND FINISH.
2. INSTALL NEW PLANTERS. SEE ARCHITECTURAL PLANS FOR DETAILS.
3. CONSTRUCT SEATING BENCHES. SEE ARCHITECTURAL PLANS FOR DETAILS.
4. INSTALL AREA DRAIN (SEE DETAIL ON SHEET C-2).
5. INSTALL INLINE DRAIN (SEE DETAIL ON SHEET C-2).
6. CONNECT TO BUILDING ROOF DRAIN LINE WITH NECESSARY AND APPROPRIATE FITTINGS. SEE PLUMBING DRAWINGS FOR CONTINUATION.
7. INSTALL 4" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.8 P.S.I. JOINTS.
8. INSTALL 12" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.8 P.S.I. JOINTS.
9. INSTALL 18" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.8 P.S.I. JOINTS.
10. INSTALL 18" TO 12" REDUCER.
11. INSTALL CATCH BASIN (MAG STANDARD DETAIL NO. 537, SINGLE).
12. CONNECT TO EXISTING STORM DRAIN PIPE WITH NECESSARY AND APPROPRIATE FITTINGS.
13. MATCH EXISTING ELEVATION AND LOCATION.
14. REMOVE EXISTING CATCH BASIN AND STORM DRAIN LINE BETWEEN THE LIMITS SHOWN. INSTALL NEW 18" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.8 P.S.I. JOINTS AND CONNECT TO NEW CATCH BASIN.
15. ADJUST EXISTING CATCH BASIN TO FINISH GRADE. REMOVE EX. STORM DRAIN TO INSTALL NEW CATCH BASIN.
16. INSTALL 12" THICK ANGULAR RIP-RAP (D50=6"). COLOR PER OWNER. INSTALL MIRAFI 180N FILTER FABRIC BENEATH RIP-RAP.
17. INSTALL 8" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.8 P.S.I. JOINTS.
18. INSTALL 3" HIGH BY 8" WIDE WEEPHOLE IN CMU WALL. BOTTOM ELEVATION OF WEEPHOLE SHALL MATCH CONCRETE ELEVATION SHOWN ON THE PLANS.
19. CONSTRUCT CONCRETE SPLASHPAD, TYPE A (SEE DETAIL ON SHEET C-2).
20. INSTALL STORM DRAIN CLEANOUT (SEE DETAIL ON SHEET C-2).
21. ADJUST EXISTING ELECTRICAL VAULT TO FINISH GRADE.
22. INSTALL NEW FENCING/GATES. SEE ARCHITECTURAL DRAWINGS FOR DETAILS AND CONTINUATION.
23. INSTALL CONCRETE SINGLE CURB (MAG STANDARD DETAIL NO. 222, TYPE 'A').
24. INSTALL CONCRETE VERTICAL CURB AND GUTTER (MAG STANDARD DETAIL NO. 220-1, TYPE A).
25. INSTALL ASPHALTIC CONCRETE PAVEMENT (4" A.C. (3/4 INCH MARSHALL MIX) OVER 8" A.B.C. OVER COMPACTED SUBGRADE.
26. REMOVE EXISTING CONCRETE CURB, A.C. PAVEMENT AND CONCRETE SIDEWALK AS NEEDED FOR NEW IMPROVEMENTS INSTALLATION.
27. INSTALL CONCRETE SPLASHPAD, TYPE B (SEE DETAIL ON SHEET C-5).

28. POTHOLE AND FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION. NOTIFY DESIGN ENGINEER OF ANY CONFLICTS.
29. ADJUST EXISTING SEWER MANHOLE TO FINISH GRADE. INSTALL WITH 8" WIDE BY 8" DEEP CONCRETE COLLAR (MAG CLASS 'A' CONCRETE).
30. INSTALL CATCH BASIN (MAG STANDARD DETAIL NO. 535, SINGLE). INSTALL 8" WIDE BY 8" DEEP CONCRETE COLLAR (MAG CLASS 'A' CONCRETE).
31. CORE DRILL AND CONNECT NEW STORM DRAIN TO EXISTING CATCH BASIN USING NON-SHRINKING MORTAR TO PROVIDE A WATERTIGHT CONNECTION. ADJUST RIM TO NEW FINISH GRADE.
32. PAINT STRIPE THE PARKING LOT TO THE ALIGNMENTS INDICATED, INCLUDING ALL DIRECTIONAL ARROWS, CROSSWALKS, HANDICAP PARKING SYMBOLS, SPEED BUMPS, ETC.
33. INSTALL CONCRETE VALLEY GUTTER AND APRON (MAG STANDARD DETAIL NO. 240, MODIFIED TO BE 6' WIDE).



**NOTE:**  
SUBGRADE BENEATH CONCRETE SIDEWALKS, EXTERIOR SLAB AND A.C. PAVEMENT SHALL HAVE 1" OF LOW EXPANSIVE SOILS OR THE EXISTING SOIL SHALL BE LIME STABILIZED TO A DEPTH OF 1" PER MAG SPECIFICATIONS. SUBGRADE BENEATH BUILDING SHALL HAVE 2" OF LOW EXPANSIVE SOILS OR THE EXISTING SOIL SHALL BE LIME STABILIZED TO A DEPTH OF 2" PER MAG SPECIFICATIONS.



## GRADING AND DRAINAGE PLAN

### RIVERSIDE SCHOOL DISTRICT #2

MARICOPA INSTITUTE OF TECHNOLOGY  
PHASE III BUILDING ADDITIONS, 3900 S. 55TH AVE.

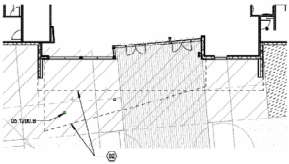
DRAWING STATUS	SHEET	OF	
100% CD SET			
DATE: 08-30-23	5	5	C-5

**LIME STABILIZATION OPTION IS INCLUDED**

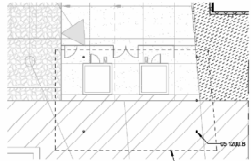


- 1 - 01 - Sidewalk per Std. Dtl. P1230 - 460 SF
- 2 - 02 - Install 7" Thick Concrete 4,000PSI comp. strength - 3,492 SF
- 4 - 04 - Remove CL fence and gate w/ footings - 83 LF
- 5 - 05 - New metal rolling gate, bottom track support and support - 46 LF
- 6 - 06 - Sawcut and remove A.C. pavement / curb - 2,436 SF ; 323 LF
- 7 - 07 - Install Asphaltic pavement 3" / 8" A.B.C. - 222 SY
- 8 - 08 - Vertical Curb and Gutter per MAG 220-1 - 84 LF
- 9 - 09 - Sinlge Curb MAG no. 222 Type A - 27 LF
- 13 - 13 - Replace existing electrical box with Traffic rated - 1 EA
- 14 - 14 - Sawcut, Remove and replace existing 7" concrete pavement - 642 SF
- 16 - 06 - Sawcut and remove curb - 28 LF
- 77 - Soil Treatment/ Lime Treatment - 1 EA

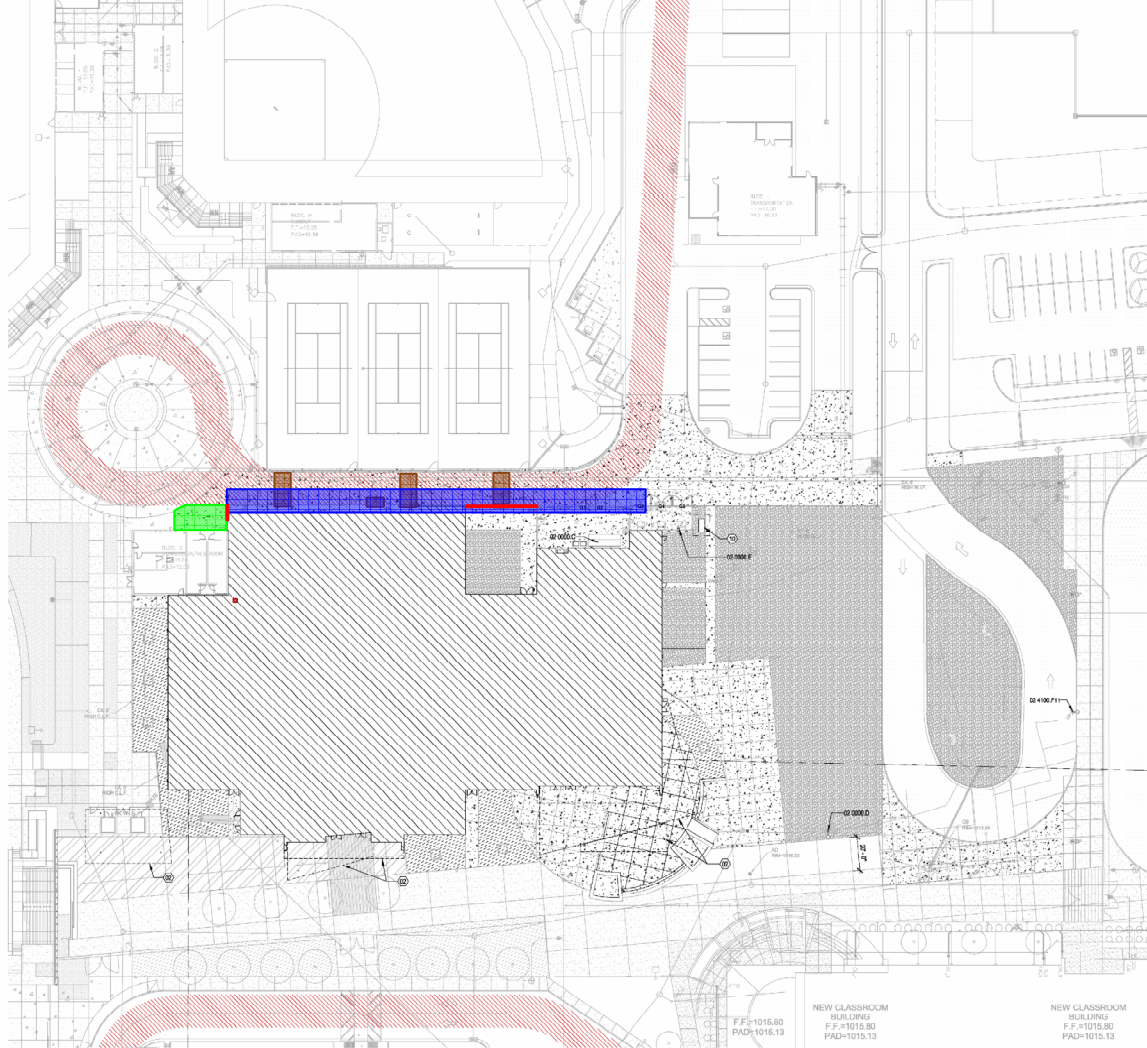
2 SITE PLAN - ENLARGED PATIO SE



3 SITE PLAN - ENLARGED PATIO S



4 SITE PLAN - ENLARGED PATIO SW



SITE PLAN

Scale is 1" = 30'-0" when printed on full size sheet.

GENERAL SHEET NOTES

- A. CONTRACTOR SHALL REMOVE ALL POSTING VEGETATION, SITE IMPROVEMENTS, ETC. WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS TO FACILITATE THE COMPLETION OF ALL REQUIRED NEW WORK. CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL QUANTITIES AND ITEMS THAT ARE REQUIRED TO BE REMOVED PRIOR TO SUBMITTAL OF THIS PERMITAL.
- B. SLOPE ALL GRASSES AND PAVEMENT AWAY FROM BUILDINGS TO PROVIDE POSITIVE DRAINAGE, UNLESS NOTED OTHERWISE.
- C. FINISH GRADE AT SIDEWALKS, BUILDINGS, ETC., ARE REQUIRED TO PROVIDE SMOOTH TRANSITION TO CURBS.
- D. ANGLES INDICATED ARE 45 DEGREES UNLESS NOTED OTHERWISE.
- E. CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE ON A CONTINUING BASIS FOR THE DURATION OF CONSTRUCTION.
- F. CONCRETE WALLS SHALL HAVE EXPANSION JOINTS AT A MAXIMUM SPACING OF STREET C.C. AND CONTROL JOINTS AT 5 FEET O.C., UNLESS NOTED OTHERWISE.
- G. PROVIDE ALL CHANGES, CORRECTIONS AND IMPROVEMENTS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, UNLESS MORE RESTRICTIVE REQUIREMENTS EXIST.
- H. SHOULD EXPOSE OF DEPTH MORE THAN 1.00' DURING OCCUPANT PAVEMENT LOCATION, NOTIFY ARCHITECT IMMEDIATELY.
- I. ALL PROPOSED IMPORTED FILL MATERIAL SHALL BE TESTED BY A QUALIFIED TESTING AGENCY TO VERIFY THAT IT MEETS ALL SPECIFICATION REQUIREMENTS PRIOR TO PLACING ON SITE.
- J. DIMENSIONS ARE TO OUTSIDE FACE OF ITEM UNLESS NOTED OTHERWISE.
- K. ALL AREAS DISTURBED BY CONSTRUCTION, STAGING, ETC. SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE ORIGINAL CONTRACTOR. GENERAL CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ORIGINAL CONDITION.
- L. ALL SIDEWALKS AT BUILDING ENTRANCES SHALL BE KEPT INTO BUILDING SLAB TO PREVENT DIFFERENTIAL MOVEMENT.

REFERENCE KEYNOTES

- 02 0000.0 EXISTING S.D.C. TO REMAIN
- 02 0000.0 EXISTING LIGHT POLE TO REMAIN
- 02 0000.0 EXISTING BUILDING TO REMAIN
- 02 0000.0 EXISTING AND REINSTALL EXISTING PICTURE STEEL COLUMN

SHEET KEYNOTES

- 02 LINE OF CANOPY/PROOF ABOVE
- 02 TEMPORARY GENERATOR

SITE LEGEND

- GRAVEL
- ARTIFICIAL TURF
- LANDSCAPE
- EXISTING FIRE LINE

orcutt|winslow

2325 N. CENTRAL AVE  
SUITE 100  
PHOENIX, AZ 85004  
WWW.OCUTTWINSLAW.COM

Riverside Elementary School District

# MIT PHASE IV GYM & CAFETERIA

3900 South 55th Avenue

Phoenix, Arizona 85043

SIGN / SEAL



OWP PROJECT NO. DATE OF ISSUE

2024-159 10.31.2024

PROJECT PHASE / ISSUED FOR

Design Development

REVISIONS

NUMBER DESCRIPTION DATE

PROJECT TEAM

education

DRAWN BY

Author

SHEET CONTENTS / TITLE

ENLARGED SITE PLAN

AS111

AGENCY NO.